

Building Permit Application Form

Property Information

House Number	Street Name	PID
Electoral Area	Zoning	Legal Land Description

Owner Information

Name(s)	Phone
Current Mailing Address	Email

Agent Information

Contact Name	Phone	Email
--------------	-------	-------

Contractor Information

Company Name	Contact Name	Phone
Mailing Address	Email	

Owner(s) Signature	Agent/Contractor Signature	Date
---------------------------	-----------------------------------	-------------

Scope of Work

Project Description:			Land Use Permit File No: (DP, DVP or NOI)		
Select one: <input type="checkbox"/> New <input type="checkbox"/> Addition <input type="checkbox"/> Alteration/ Renovation <input type="checkbox"/> Move <input type="checkbox"/> Repair <input type="checkbox"/> Decommission <input type="checkbox"/> Demolition	Select applicable: <input type="checkbox"/> Dwelling <input type="checkbox"/> Accessory Dwelling <input type="checkbox"/> Accessory Building <input type="checkbox"/> Secondary Suite <input type="checkbox"/> Manufactured Home <input type="checkbox"/> Farm/Agricultural <input type="checkbox"/> Commercial <input type="checkbox"/> Industrial <input type="checkbox"/> Institutional <input type="checkbox"/> Multi-Residential <input type="checkbox"/> Woodstove <input type="checkbox"/> Swimming Pool <input type="checkbox"/> Retaining Wall <input type="checkbox"/> Portable Container <input type="checkbox"/> Other	Select applicable: <input type="checkbox"/> Crawlspace* <input type="checkbox"/> Decks* <input type="checkbox"/> Electrical <input type="checkbox"/> Factory Chimney* <input type="checkbox"/> Finished Basement* <input type="checkbox"/> Gas Appliances* <input type="checkbox"/> Gas Fireplace* <input type="checkbox"/> Heating <input type="checkbox"/> Masonry Chimney* <input type="checkbox"/> Plumbing <input type="checkbox"/> Slab* <input type="checkbox"/> Unfinished Basement* <input type="checkbox"/> Verandahs* <input type="checkbox"/> Wood Fireplace* <input type="checkbox"/> Woodstove* <input type="checkbox"/> N/A <i>*Must be shown on plans</i>	Estimated Value of Construction: Number of Stories: Building Area (ft²): Number of Bedrooms: Water Service: <input type="checkbox"/> Well* <input type="checkbox"/> CVRD Water <input type="checkbox"/> Private Water* <input type="checkbox"/> Other* Sewer Service: <input type="checkbox"/> Septic System* <input type="checkbox"/> CVRD Sewer <input type="checkbox"/> Private Sewer* <i>* Approval required prior to Building permit issuance</i>	Property is adjacent to and/or contains: <input type="checkbox"/> Sea, Lake, River, Stream, Ditch <input type="checkbox"/> Cliff, Bank, Ravine, Escarpment <input type="checkbox"/> Eagle or Heron Nest <input type="checkbox"/> Mature Forest <input type="checkbox"/> Agricultural Land Reserve (ALR) <input type="checkbox"/> None of the above Property has existing structures: <input type="checkbox"/> Yes (must be shown on site plan) <input type="checkbox"/> No Has or will fill be placed on the site? <input type="checkbox"/> Yes <input type="checkbox"/> No Has or will blasting be carried out on the site? <input type="checkbox"/> Yes <input type="checkbox"/> No Is this an addition, alteration, or demolition of a structure built prior to 1990? <input type="checkbox"/> Yes <input type="checkbox"/> No	
Manufactured Homes Only - Certification CSA Standard: <input type="checkbox"/> Z240 <input type="checkbox"/> A277	Type of Heat: <input type="checkbox"/> Electric Baseboard <input type="checkbox"/> Heat Pump <input type="checkbox"/> Forced Air <input type="checkbox"/> In-floor radiant	Type of Framing: <input type="checkbox"/> Wood <input type="checkbox"/> Structural Steel <input type="checkbox"/> Masonry/ICF/Concrete			
Serial Number:					

This information is collected for the administrative and/or operational functions of the CVRD as authorized by the Local Government Act and CVRD Building Bylaw No. 4433. This information has been collected and may be used, and or listed in a Building Permit Register, and forwarded to authorized agencies in accordance with the Freedom of Information and Protection of Privacy Act.

Acknowledgment of responsibility and undertakings

The undersigned being the owner/agent for the owner of the property herein described hereby makes application for a permit to undertake the work as set forth in this application. I agree to conform to all requirements as may be specified by the CVRD Building Bylaw and any other applicable Bylaw or Regulation in force by the CVRD. Neither the issuance of the Permit nor the approval of the drawings and specifications submitted as part of this application, by the Building Inspection Department or designates thereof, shall, in any way relieve the applicant from the responsibility of ensuring the construction for which this permit issued, is carried out in conformity with the requirements of the Building Bylaw and any other applicable Bylaws and Regulations, nor prevent the Building Official, or their designate from requiring correction of any errors in construction or violation of the Building Bylaw or other applicable Bylaw or regulations. The undersigned owner/authorized agent of the owner makes an application as specified herein, and declares that the information submitted in support of the application is true and correct in all respects.

Building Permit Application Checklist

Legend:
X indicates required

* indicates may be required – check with Building Official

	New Dwelling	New Secondary Suite (within existing dwelling)	New Accessory Dwelling Unit or Small Suite	Dwelling: Addition - increasing living space or # of bedrooms	Dwelling: Renovation/Alteration with NO change to size	Accessory Building	Farm or Agricultural Building	Moved on Structure	Manufactured Home	Demolition	Portable Container Siting	Commercial/Industrial/Institutional
Building Permit Application Form signed and completed (page 1)	REQUIRED FOR ALL APPLICATIONS											
Land Title Certificate dated within 30 days of application, including copies of all registered covenants, easements, and rights of way	REQUIRED FOR ALL APPLICATIONS											
Non-Refundable Application Fee Construction Value under \$50,000 = \$100 Construction Value over \$50,000 = \$250	X	X	X	X	X	X	*	X	X	*	*	X
Construction Drawings two sets, full-size (usually 24"x36") drawings to 1/4":1' scale (see page 3 for details)	X	X	X	X	X	X	X	X	X			X
BC Energy Step Code Pre-Construction Report completed by an Energy Advisor (*see page 3)	X		X	*	*				*			X
Site Plan or Site Survey (survey prepared by a BC Land Surveyor)	X		X	X		X	X	X	X	X	X	X
Sewerage Filing if on septic system, Record of Sewerage System filing with Island Health or ROWP or Professional Engineers report	X	X	X	X	*	*	*	X	X			*
BC Housing New Home Warranty Registration form or Owner-Builder Authorization form (required for all NEW dwellings or substantial alterations)	X		X	*	*							
Structural Engineering if required or provided, include 2 sets of full size, sealed drawings , and BC Building Code Letters of Assurance (Schedule B)	*	*	*	*	*	*	*	*	*			*
Assurance of Structural Compliance for Moved or Relocated Buildings completed by Professional Engineer								X				
Preliminary Truss & Beam Layouts including factored loads (required if <u>no</u> structural engineer)	X	*	X	X	*	X	*					*
CSA Certification Number & Manufacturer's Specification Sheet									X			
Geotechnical Report and/or Geohazard Assurance Statement	*	*	*	*		*	*	*	*			*
Proof of Water – Community System: Written approval from Improvement District or other private utility.	X	X	X					X	X			X
Proof of Water - Natural Source or Well: Written approval from a professional that the source is licensed, free of contaminants and of sufficient volume.	X	X	X					X	X			X
Hazardous Materials Report and Risk Assessment - required if there are <u>any</u> changes to structures constructed <u>pre-1991</u> .		*		*	*			*		X		
Mechanical Vent Checklist/Design - submit prior to insulation inspection	X	X	X	*	*	*		*				
Secondary Suite or Accessory Dwelling Covenant required for <u>any</u> property with 2 dwelling units	*	X	X					*	*			
Development Permit or Variance Permit where project falls within a Development Permit Area (DPA) or does not meet the Zoning setbacks.	*	*	*	*	*	*	*	*	*	*	*	*
Contaminated Site Disclosure Statement if a property has been used for industrial or commercial purposes listed in the Schedule 2: CSR	*	*	*	*	*	*	*	*	*	*	*	*
ALC Notice of Intent for the removal and import of fill associated with building construction within the ALR	*	*	*	*	*	*	*	*	*			*

Building Permits General Requirements

Step 1: Review your project with Development Services before applying for a Building Permit:

- Call 250-746-2620 or email ds@cvrd.bc.ca
- CVRD Gulf Islands projects contact Islands Trust for consultation: 250-247-2063 or northinfo@islandstrust.bc.ca

Step 2: Discuss required documents for your application with the Building Official if necessary:

- Call 250-746-2610 or email inspections@cvrd.bc.ca

Construction Drawing Requirements:

- Two sets, full-size (usually 24"x36", B&W) [drawings](#) to ¼":1' scale with the following detail:
 - Demonstrated compliance with applicable CVRD Zoning Bylaw(s), [CVRD Building Bylaw](#), and the current edition of the BC Building Code
 - Site Plan including driveway (smaller scale accepted), the location of all structures on the parcel with dimensions to property lines (setbacks), parcel size in area (m²), and parcel dimensions (m) including parcel coverage (%) and spatial separations (if applicable)
 - Foundation details and dimensions (Foundation Plan)
 - The dimensions of the building with proposed use and layout of each room (Floor Plan)
 - The location of all plumbing fixtures and mechanical devices including the hot water tank and furnace
 - [All brace wall band and brace wall panel](#) locations per the seismic framing requirements of the Building Code.
 - Elevations illustrating total building height, cladding type, roof pitch, guard details, and Flood Construction Levels (if applicable)
 - Cross Section plans illustrating insulation, stairs and headroom, and any fire separations

Common Contacts

• **BC Housing New Home Warranty Program:**

Homeowner Protection Office
1.800.407.7757 Branch of BC Housing
Suite 203 - 4555 Kingsway
BURNABY BC V5H 4V8

Tel: 604.646.7050 or

Fax: 604.646.7051

Web: www.bchousing.org/licensing-consumer-services

Email: licensinginfo@hpo.bc.ca

• **Island Health - Health Protection & Environmental Services Department:**

For Electoral Areas A, B, C, D, E, F & I: Duncan Office
6425 Norcross Road
DUNCAN BC V9L 6C5
250.737.2010
Email: HPES.Duncan@islandhealth.ca

For Electoral Areas G & H: Nanaimo Office

Unit 202 - 6475 Metral Drive, 3rd Floor

NANAIMO BC V9T 2L9

250.755.6215

Email: HPES.Nanaimo@islandhealth.ca

• **Islands Trust:**

For construction on CVRD Gulf Islands - CVRD will facilitate referrals upon receipt of Building Permit Application. It is recommended to speak with Islands Trust staff *before* applying for a Building Permit for Land Use implications:

Tel: 250.247.2063

Web: www.islandtrust.bc.ca

Toll Free (Through Inquiry BC): 1.800.663.7867

• ***Find an Energy Advisor:**

1. Visit [CleanBC Better Homes](#)
2. Select renovation or building a new dwelling
3. Search "Cowichan Valley Regional District"
4. A list of Energy Advisors in your area populates

• **Provincial Agricultural Land Commission**

Tel: 604.660.7000

Web: www.alc.gov.bc.ca

• **Find a Land Surveyor** – Association of BC Land Surveyors

• **Technical Safety BC** – Gas, Electrical, Elevator Permitting

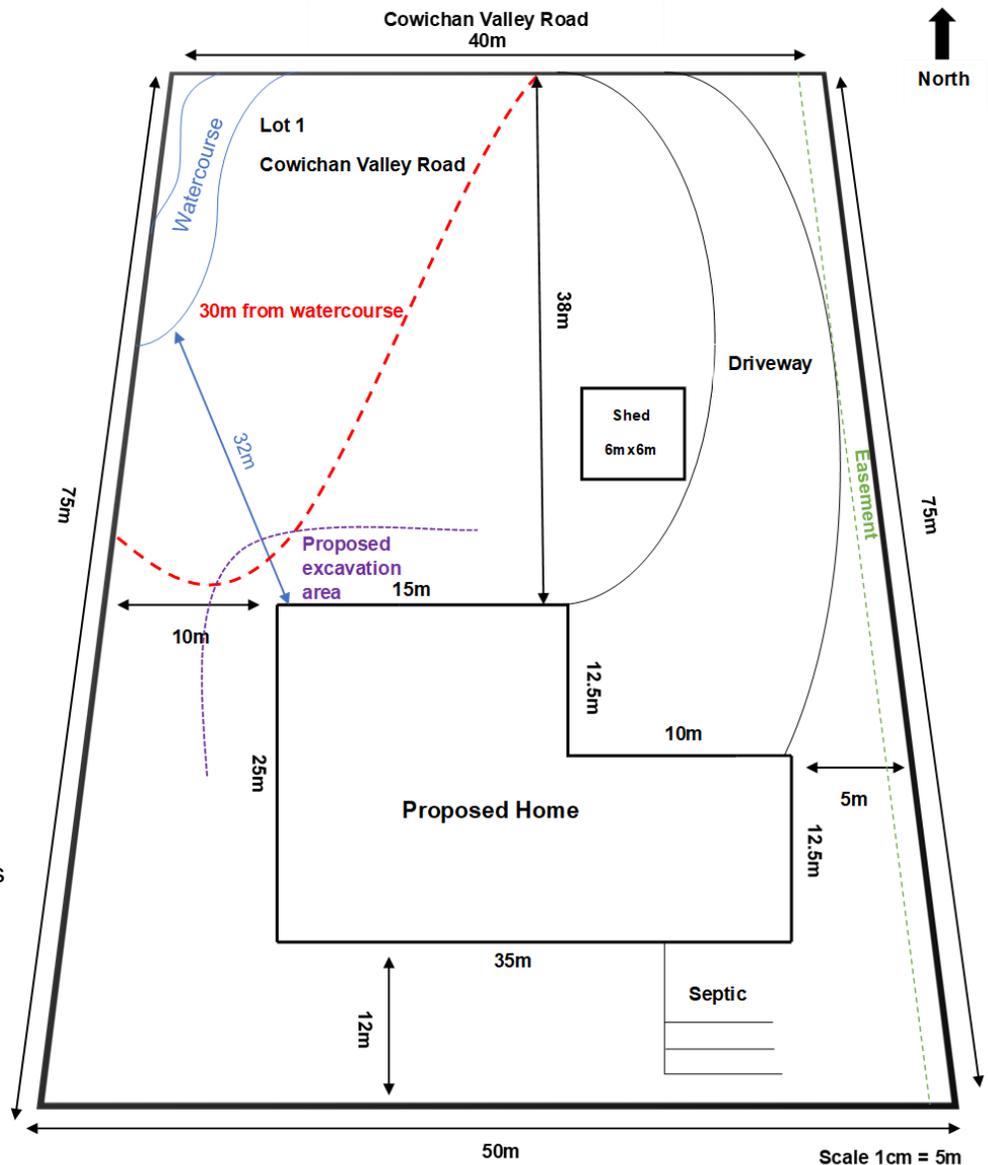
• **Find a Professional Engineer** – Engineers & Geoscientists BC

Basic Site Plan - Sample

A site plan identifies buildings and other features in relation to property boundaries. The site plan should identify your existing structures (i.e.: dwellings, garages, sheds, decks) and proposed additions or new structures.

The following information should be shown on a site plan:

1. Title and **scale**
2. Legal description
3. Street name(s) and frontages
4. North arrow
5. Property lines with dimensions in metric
6. **Setbacks** (distance) to all property lines from all existing and proposed structures
7. **Proposed construction** (shaded or crosshatched)
8. Overall building **dimensions**, **lot coverage**, **new and existing building areas of all buildings**
9. Rights-of-way, easements, and covenant areas
10. Any **watercourses** (i.e.: streams, creeks, lakes, ponds, etc.) must be shown and distances from riparian areas and proposed construction must be shown
11. Any construction, excavation, or demolition within 30m of the riparian area must be shown as well



Notes:

1. Refer to the Electoral Area Zoning Bylaw for zoning requirements
2. Please submit all site plans in metric

Home & Site Hazard Assessment

Important Factors	Characteristics of Material	Point Rating	Your Score
What kind of roofing material do you have?	If you have asphalt shingles, metal, clay tile or ULC rated shakes	0	
	If you have unrated wooden shakes	30	
How clean is your roof?	No needles, leaves or other combustible materials	0	
	A scattering of needles and leaves	2	
	Clogged gutters and extensive leaf litter	3	
What is the exterior of your home built out of?	Non-combustible material stucco, metal siding, brick	0	
	Logs or heavy timbers	1	
	Wood, vinyl siding or wood shakes	6	
Are your eaves and vents closed up and screened?	Closed eaves and vents with 3 mm wire mesh	0	
	Closed eaves and vents with no mesh	1	
	Open eaves, open vents	6	
Have you screened in your balcony, deck or porch?	All decks, balconies and porches are screened or sheathed in with fire resistant material	0	
	All decks, balconies and porches are screened or sheathed with combustible material	2	
	Decks, balconies and porches are not screened or sheathed in	6	
How fire resistant are your windows and doors?	Tempered glass in all doors/windows	0	
	Double pane glass:		
	• Small/Medium	1	
	• Large	2	
Single pane glass:	• Small/Medium	2	
	• Large	4	
Where is your woodpile located?	More than 10 metres from any building	0	
	Less than 10 metres from any building	6	
Is your home set back from the edge of a slope?	Building is located on the bottom or lower portion of a hill.	0	
	Building located on the mid to upper portion or crest of a hill	6	

Home & Site Hazard Assessment

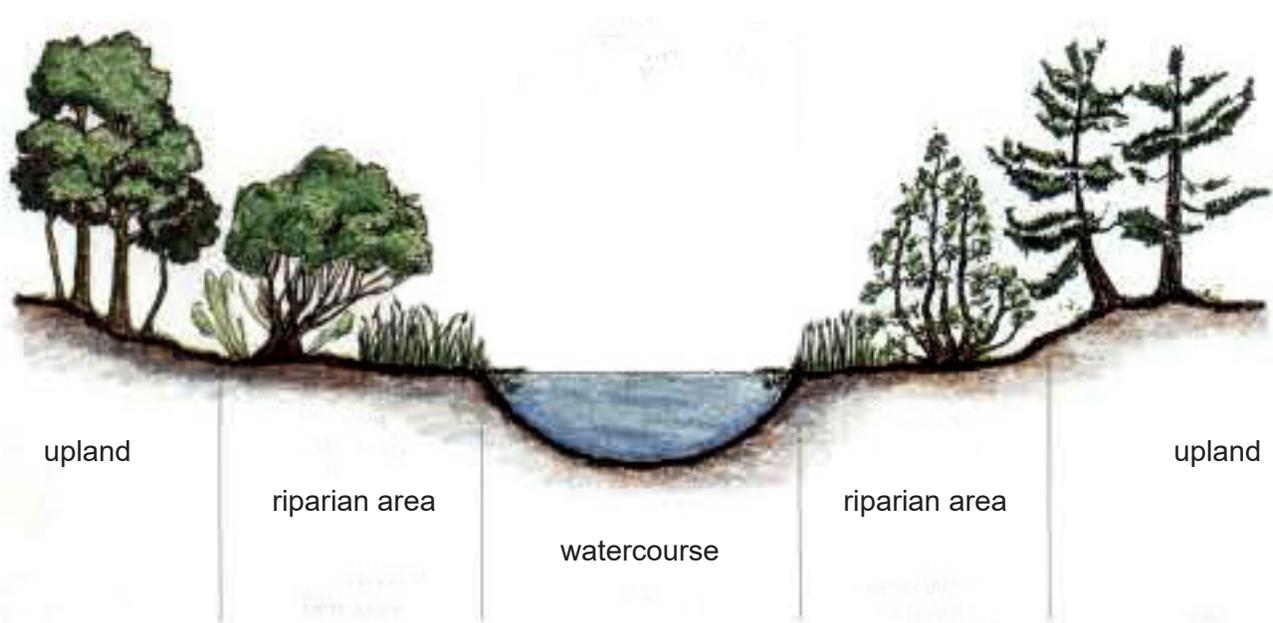
Important Factors	Potential Hazards	Point Rating	Your Score
What type of forest surrounds your home, and how far away is it?	Deciduous trees (poplar, birch) within 10 metres of buildings	0	
	Deciduous trees 10 - 30 metres from buildings	0	
	Mixed wood (poplar, birch, spruce or pine) within 10 metres of buildings	30	
	Mixed wood 10 - 30 metres from buildings	10	
	Conifers (spruce, pine or fir) within 10 metres of buildings • separated • continuous	30 30	
	Conifers (spruce, pine or fir) within 10 - 30 metres of buildings • separated • continuous	10 30	
What kind of vegetation grows in the zone around your buildings?	Well watered lawn or non-combustible landscaping material	0	
	Uncut wild grass or shrubs • within 10 metres of buildings • within 10 - 30 metres of buildings	30 5	
	Dead and down woody material within 10 metres of buildings • scattered • abundant	30 30	
	Dead and down woody material within 10 - 30 metres of buildings • scattered • abundant	5 30	
Are there abundant underbrush and ladder fuels in the surrounding forest?	None within 10 - 30 metres	0	
	Scattered • within 10 - 30 metres of buildings	5	
	Abundant • within 10 - 30 metres of buildings	10	
The Wildfire Hazard Level for your home is:		Total Score	

Comments:

Low <21 points Moderate 21-29 points High 30-35 points Extreme >35 points

Riparian Areas Regulation Property Declaration

The Province of British Columbia enacted the *Riparian Areas Regulation* to protect the critical features, functions, and conditions required to sustain fish habitat. This legislation prohibits the Cowichan Valley Regional District from approving, or allowing a development to proceed adjacent to a riparian area, or within a designated development permit area until it has received notice that a report prepared by a Qualified Environmental Professional (QEP) has been submitted to the Ministry of Environment.



A watercourse can be defined as a natural or artificial channel through which water flows.

Do you have any watercourses on or adjacent to your property?

Yes No

I (We) declare that all proposed development including land alteration, vegetation removal, construction and/or building is:

Less than 30 metres upland of the highwater mark of a watercourse

More than 30 metres upland of the highwater mark of a watercourse

**If you are wanting to develop within 30 metres of a watercourse, you will need to apply for a development permit.

Property Information

Civic address: _____

PID: _____

Signature: _____

Date: _____